



CAMDEN COUNCIL PLANNING PROPOSAL

187 & 191 Turner Road, Currans Hill

Version 4

December 2019

Document Register

Version	Date	Detail	Council Reference
1	March 2018	Original Planning Proposal lodged by proponent	18/92515
2	August 2018	Revised Planning Proposal prepared by proponent	18/287991
3	Feb 2019	Revised Planning Proposal by proponent – post panel meeting	19/327318
4	December 2019	Updated Planning Proposal by Camden Council	19/375677

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Executive Summary

The planning proposal site is located at 187 & 191 Turner Road, Currans Hill, Camden. The site is within Manooka Valley urban release area and is currently zoned R1 General Residential, E2 Environmental Conservation and E4 Environmental Living with a minimum lot size of 500m² under Camden Local Environmental Plan 2010 (Camden LEP 2010). An existing riparian corridor traverses from north-east to south-west of the subject site and is in poor conditions.

The planning proposal seeks to facilitate approximately 6 additional general residential lots on the site by rezoning a portion of E4 Environmental Living and E2 Environmental Conservation to R1 General Residential. The proposal also seeks to rezone a small portion of R1 to E2. Amendments to the Height of Building and the Minimum Lots Size controls are also sought to reflect the proposed zoning changes. The proposal does not seek to increase the residential density by amending the minimum lot size and height of building control for the site.

On 20 August 2019, the Camden Local Planning Panel (Panel) reviewed the draft Planning Proposal (version 2) and provided recommendations in a closed meeting. Following the Panel's review, the proponent lodged a revised Planning Proposal (version 3).

On 26 November 2019, Council adopted the revised Planning Proposal and resolved to forward to Department of Environment, industry and Environment (DPIE) for Gateway Determinations. A copy of Council report and meeting minute is provided as Appendix.

The planning proposal (version 4) has demonstrated merits to proceed to Gateway Determination.

1.0 Introduction

The subject site is part of the Manooka Valley urban release area which was rezoned for residential development in 2005, prior to the rezoning of the South West Growth Area (SWGA). The planning controls adopted at the time reflected the rural nature of the surrounding area, which has changed significantly since the Turner Road Precinct was rezoned (2007) and developed under the Growth Centres SEPP.

The site currently has development potential for 63 general residential lots based on existing controls. The proposal seeks to make amendments to Camden LEP to facilitate 6 additional general residential lots on the site. The proposal seeks to achieve this through the following amendments as summarised below.

The planning proposal seeks to rezone a portion of E4 to R1. The character of the E4 zoned land has changed significantly due to the rezoning process of South West Growth area in 2007. It is noted that the proposal does not seek to increase residential density on the existing land zoned under E4, as it maintains the existing minimum lot size.

The proposal seeks to reduce the width of the E2 zoned riparian corridor to facilitate an additional 1.9ha of general residential land on the site. The proposed width of riparian corridor reflects the current NSW Office of Water's (NOW) "Guidelines for Riparian Corridors on Waterfront Land" (Guidelines). These Guidelines were reviewed in 2012 and amended the required riparian corridor widths according to stream classification.

The proposal also proposes to rezone a portion of R1 to E2 to facilitate land to provide opportunities for environmental embellishment in the area that directly adjacent to the remanent endangered vegetation on the site.

The Planning Proposal has been prepared in accordance with Section 3.33 of the Environmental Planning and Assessment Act 1979 and guidelines published by the Department of Planning and Environment, namely 'A guide to preparing Planning Proposals' to ensure all matters requiring consideration are appropriately addressed.

2.0 Site Description and Context

2.1 Overview

This section describes the subject site, its location and its context in relation to nearby existing and approved development.

2.2 Site description and context

The subject site is 11.59ha in area (approximate) and slopes towards Turner Road. The site is predominately cleared except for several paddock trees and a small 0.2ha remnant patch of Cumberland Plain Woodland. The site is largely characterised by low density residential development in Currans Hill to the south and east. To the north west, the site is adjacent to the South West Growth Area (SWGA) and the Smeaton Grange industrial precinct.

The area that is the subject of this Planning Proposal is shown in **Figure 1**.



Figure 1 Site location and context

2.4 The Site

The site is owned by Mr K Broome & Turner Road Developments Pty Ltd & Aramis Investments Pty Ltd and is legally described as Lot 36 DP 28024 & Lot 105 DP 1210084.

The site currently contains an existing riparian corridor (highly degraded) and some scattered trees and a small pocket (approximately 0.2 ha) of River - Flat Eucalypt Forest (RFEF) from the Cumberland Plain Woodland (CPW) vegetation community. The CPW vegetation community is protected under the *Environmental Protection and Biodiversity Conservation Act 1999* (the EPBC Act). The remainder of the site is largely cleared and is suitable for residential development. **Figure 2** identifies the planning proposal site and the existing riparian corridor.

2.5 Camden Local Planning Panel

On 20 August 2019, the Local Planning Panel inspected the site and considered the draft Planning Proposal (Version 2) in a closed session. The Panel's recommendations were that the draft Planning Proposal should not proceed to Gateway Determination for the following reasons:

- Retaining of the 500m² minimum lot size will add to the diversity of housing choice given the high prevalence of small lot housing in the locality; and
- Retention of the existing E2 zoned land is likely to have greater success in achieving an appropriate recreational outcome and future environmental value.

A copy of meeting minutes is provided as **Appendix 3** to this report.

Following the Panel meeting, the proponent revised the draft Planning Proposal to respond to the Panel's advice specifically to retain the 500m² minimum lot size and adjust the proposed E2 Environment Conservation zoned land to provide recreational opportunities and conserve remnant vegetation.

3.0 Statutory Framework

3.1 Zoning

The site is currently zoned R1 General Residential, E2 Environmental Conservation and E4 Environmental Living, with a minimum lot size of 500m² under the Camden Local Environmental Plan 2010.

The Planning Proposal seeks to rezone the E4 zoned land on the northern part of the site to R1. It proposes to narrow the width of the riparian corridor by rezoning approximately 10m on each side of the watercourse from E2 Environmental Conservation to R1 General Residential. The proposed width of the riparian corridor is approximately 26m, including an approximate 6m wide channel and a 10m buffer from the top of bank on each side of the watercourse.

The proposal also seeks to rezone a portion of R1 land to E2 to provide opportunities to recreational and environmental benefits.

Figure 4 and **Figure 5** show a comparison of changes proposed for the LZN maps.

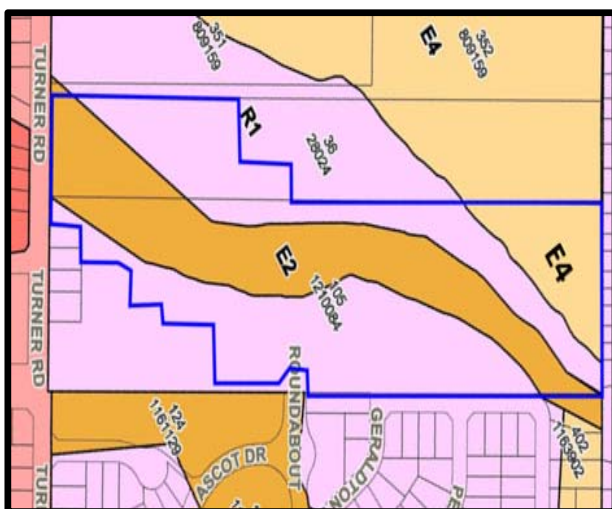


Figure 4: Existing zoning

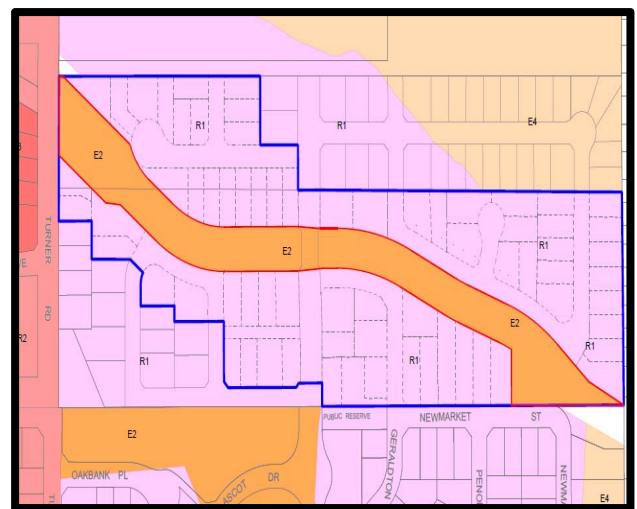


Figure 5: Proposed zoning

3.2 Height of Building (HOB)

The Planning Proposal seeks to amend the Height of Buildings and Lot Size Maps to reflect the revised zoning boundaries proposed for the site.

A 9.5m maximum height of building control is currently applied to the site under Camden LEP 2010. A 9.5m (J) HOB control will be introduced to the new proposed R1 zoned land. **Figure 6** and **Figure 7** show a comparison of changes proposed for the HOB maps.

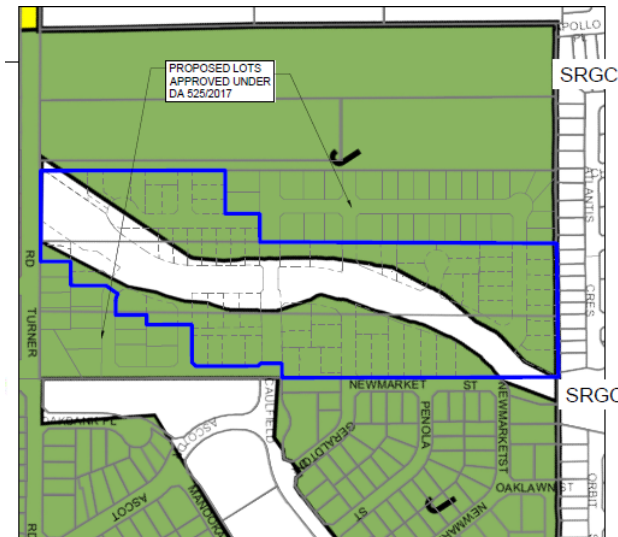


Figure 6: Existing Height of Building

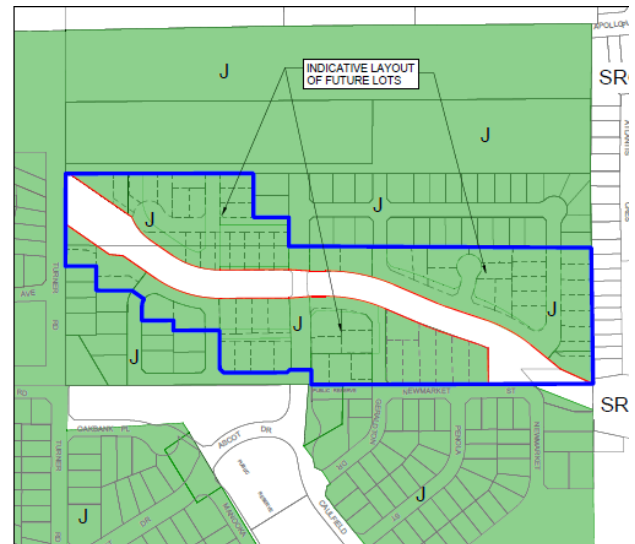


Figure 7: Proposed Height of Building

3.3 Minimum Lot Size (MLS)

The site currently has a minimum lot size of 500m² (I) for the R1 and E4 zoned land under Camden LEP 2010. The E2 zoned land does not have a minimum lot size control apply to the area. The planning proposal seeks to introduce a minimum lot size of 500m² for the proposed R1 zone land and remove the minimum lot size control for the proposed E2 zoned land.

Figure 5 and **Figure 6** provides a comparison of the changes to the existing and proposed minimum lot size for the site.

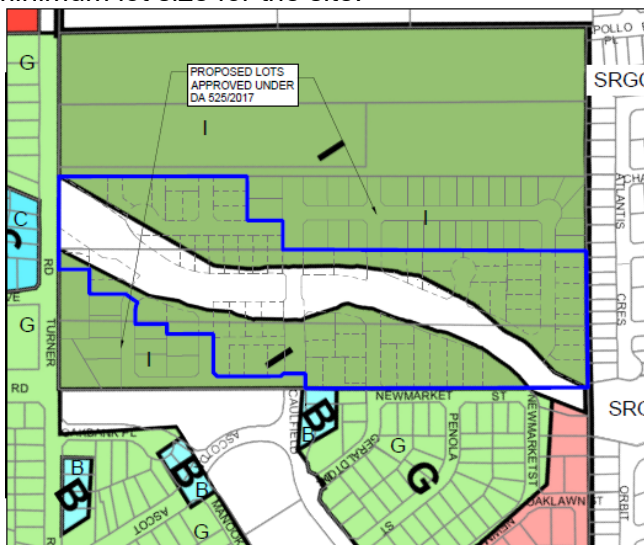


Figure 8: Existing Minimum Lot Size

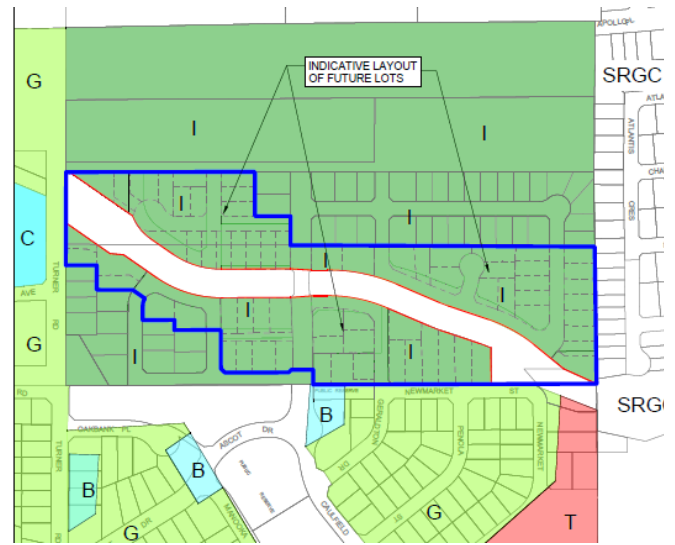


Figure 9: Proposed Minimum Lot Size

4.0 The Planning Proposal

4.1 Objectives and Intended Outcomes

The objectives of the planning proposal are to:

- rezone approximately 0.7ha of land zoned E4 Environmental Living and 1.0ha of land zoned E2 Environmental Conservation to R1 General Residential; and
- rezone approximately 0.1ha of land zoned R1 General Residential to E2 Environmental Conservation.

The intended outcomes of the planning proposal are to facilitate the development of additional 6 general residential lots via narrowing the width of E2 zoned riparian corridor and rezoning a portion of the site from E4 to R1 as shown in Figure 4 & 5. In addition, the planning proposal seeks to generate public benefits by incorporating the existing Cumberland plain woodland vegetation community into the proposed E2 zoned land and dedicating the proposed E2 land to Council for recreational and environmental purposes. An indicative layout of the proposed development is provided in **Figure 10**.

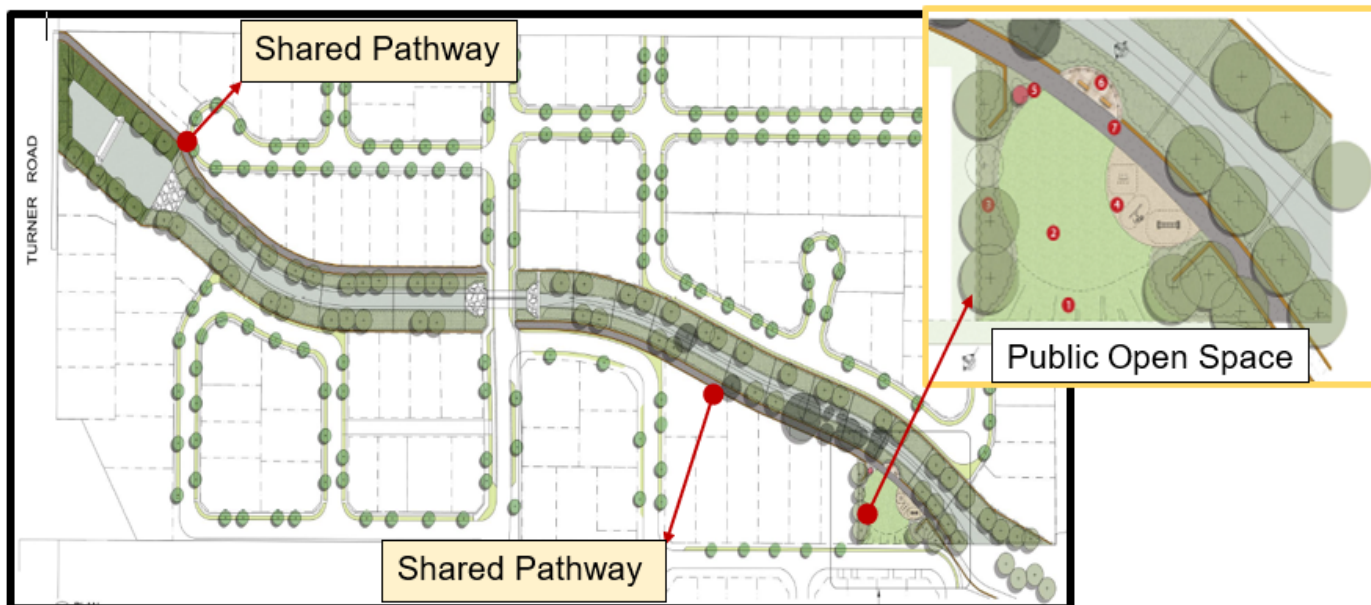


Figure 10: Indicative layout of proposed future development

4.2 Explanation of Provisions

The Planning Proposal seeks to amend the following Camden LEP 2010 maps:

- Land Zoning Map – Sheet LZN_017;
- Height of Building Map - Sheet HOB_017;
- Lot Size Map Sheet LSZ _017

The Planning proposal seeks to amend partially of the Sheet LZN _ 017 by amending the R1 zoned land to E2, and a portion of E2 & E4 zoned land to R1 as illustrated in **Figure 3 & 4**.

The Planning Proposal will amend the partially of the Sheet HOB _ 017 map and Sheet LSZ_ 017 map to reflect the proposed R1 and E2 zoning applying to the site.

4.3 Justification

This section addresses the need for the proposed rezoning for the subject site, identifies the background studies undertaken, and details why the planning proposal is the best approach.

4.3.1 Section A – Need for the Planning Proposal

Q1. Is the planning proposal a result of any strategic study or report?

The planning proposal is not a direct result of any strategic study or report. However, a number of technical studies have been prepared to support the planning proposal, including

- Traffic Impact Report, prepared by Transport & Urban Planning Pty Ltd, dated October 2019;
- Flora and Fauna and Riparian Assessment, prepared by Ecological, dated 18 August 2017;
- Vegetation Management Plan, prepared by Ecological dated October 2019;
- Contamination Assessment and Remedial Action Plan, prepared by GeoEnviro Consultancy Pty Ltd, dated August 2015;
- Bushfire Assessment, prepared by Ecological September 2017;
- Aboriginal Heritage Assessment, prepared by Ecological dated, September 2017;
- Stormwater Assessment, prepared by JMD Consultants dated, 29 October 2019; and
- Salinity Assessment prepared by GeoEnviro Consultancy Pty Ltd, dated October 2017.

A copy of each technical study is provided as **Appendix 5** in this planning proposal. A summary of some key studies is provided below:

Traffic Impact Report

The Traffic Impact Report (TIR) indicates that the additional traffic movement generated by the proposed development will not compromise the existing traffic service level, road safety and amenity at key intersections and access roads leading to the site. These include the intersections located at Narellan Road and Tramway Drive and Currans Hill Drive and Turner Road. The projected traffic volumes align with the recommended Roads and Maritime Services (RMS) environmental threshold for local and collector roads at the post development condition.

Flooding and Stormwater Impacts

The site contains two stormwater flows from external catchments. The Flooding and Stormwater Study found that the proposal will not generate detrimental flood impacts on surrounding properties and demonstrates how the proposed stormwater design within the riparian corridor will provide satisfactory drainage for the proposed development.

Q2. Is the planning proposal the best means of achieving the objectives or intended outcomes, or is there a better way?

The amendment sought in this planning proposal is the best mean to achieve the objectives and intended outcomes. The planning proposal seeks to achieve an approximately 6 additional general residential lots on the site via rezoning a portion of E4 and narrowing down the width of the E2 zoned riparian corridor (highly degraded) to facilitate additional developable land. The proposed width of the riparian corridor complies with the NSW Office of Water's (NOW) "Guidelines for Riparian Corridors on Waterfront Land" (Guidelines).

4.3.2 Section B – Relationship to Strategic Planning Framework

Q3. Is the planning proposal consistent with the objectives and actions of the applicable regional, sub-regional or district plan or strategy (including any exhibited draft plans or strategies)?

Greater Sydney Regional Plan

The Greater Sydney Region Plan (the Region Plan) was released by the Greater Sydney Commission (GSC) on 18 March 2018. The Region Plan has a vision and plan to manage growth and change for Greater Sydney in the context of economic, social and environmental matters.

The subject site is within Western Sydney Parkland City. This Planning Proposal is consistent with the visions and directions of the draft Greater Sydney Regional Plan as outlined in the table below:

Great Sydney Region Plan		
Direction	Objective	Officer Comment
<u>Direction 4</u> Liveability- Housing the City	Objective 10: Greater Housing Supply Objective 11: Housing is more diverse and affordable	This proposal is consistent with these objectives as it provides ongoing housing supply and a more diverse range of housing types in the right location. The proposal seeks to provide an indicative total number of 69 residential lots on a site surrounded by existing and future residential development.

<u>Direction 6</u> Sustainability – A City in its landscape	Objective 28: Scenic and cultural landscape are protected	<p>The proposal is consistent with this objective as the proposed development will occur in an area suitable for residential development. The proposal will not visually detract from any surrounding land use.</p> <p>The proposal seeks to preserve the existing Cumberland Plain Woodland vegetation community on site by including it in the E2 Environmental Conservation zoned corridor. The proposal also seeks to embellish and revegetate the riparian corridor that transects through the subject</p>
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Western Sydney District Plan

On 18 March 2018, the Western Sydney District Plan (the District Plan) was released by the GSC. The District Plan guides the 20-year growth of the district to improve its social, economic and environmental assets.

The consistency of the draft (revised) Planning Proposal has been assessed against the relevant strategic directions and objectives of the District Plan in **Table 2**:

Western City District Plan	
Planning Priority	Officer Comment
<u>Planning Priority W5</u> Providing housing supply, choice and affordability, with access to job and services	<p>It is proposed to allow an additional 6 residential lots to increase housing supply and choice for the area.</p> <p>The proposed residential developments are close to existing and proposed infrastructure (e.g. regional roads and existing bus line), jobs and services.</p>
<u>Planning Priority W16</u> Protecting and enhancing scenic and cultural landscape	<p>The proposal will facilitate an additional 6 residential lots and will not detract from the integrity of the scenic and cultural landscape of the Manooka Valley precinct.</p>

The draft (revised) Planning Proposal is consistent with the District Plan for the reasons listed above.

Q4. Is the planning proposal consistent with a council's local strategy or other local strategic plan?

- Community Strategic Plan

Council adopted the Community Strategic Plan (CSP) in June 2017. This plan is a road map for a long-term community vision with key directions, objectives, strategies and indicators. Community Strategic Plan (CSP) seeks to actively manage Camden LGA's growth by retaining Camden' heritage sites, scenic vistas and cultural landscapes.

Strategy 1.1 seeks to ensure provision of appropriate urban development for sustainable growth in the Camden LGA. Strategic 1.1.2 seeks to manage and plan for a balance between population growth, urban development and environmental protection

The planning proposal is consistent with these strategies. It seeks to allow an approximately total number of 69 residential lots on an existing site that is close to existing infrastructure and services. The proposal will maintain a balance between population growth, existing infrastructure and environmental value.

- Draft Camden Local Strategic Planning Statement

The draft Local Strategic Planning Statement (draft LSPS) is a 20-year planning vision, emphasising land use, transport and sustainability objectives and priorities to demonstrate how Camden LGA will change to meet the community's needs over the next 20 years.

The liveability priority seeks to provide housing choice and affordability for Camden's growing and changing population. Sustainability priority proposes to improve the accessibility and connectivity of Camden's Green and Blue Grid and delivering high quality open space.

The proposal is consistent with these local priorities. As it proposes to facilitate an approximately total number of 69 residential lots close to existing and proposed infrastructure (e.g. regional roads and existing bus line), jobs and services. In addition, the proposed width of riparian corridor complies with the revised State Government riparian corridor guideline.

The proposal seeks to improve the accessibility and connectivity to the site from the surrounding open space by delivering shared pathways as part of a future Voluntary Planning Agreement.

Q5. Is the planning proposal consistent with applicable State Environmental Planning Policies? The State Environmental Planning Policies (SEPPs) that are relevant to this Planning Proposal are identified below:

The consideration of these SEPPs including deemed SEPPs has identified that the Planning Proposal is consistent with theses SEPPs as identified in **Appendix 1**.

Q6. Is the planning proposal consistent with applicable Ministerial Directions (s117 Directions)?

The s9.1 directions applicable to the Planning Proposal have been addressed in **Appendix 2**.

4.3.3 Section C – Environmental, Social and Economic Impact

Q7. Is there any likelihood that critical habitat or threatened species, populations or ecological communities, or their habitats, will be adversely affected as a result of the proposal?

The planning proposal will not adversely affect the critical habits or threatened species and ecological community on the site. Notwithstanding, the planning proposal seeks to protect the threatened ecological vegetation community by including the remnant vegetation into the proposed E2 corridor.

The planning proposal has been also supported by following studies, including:

- Flora and Fauna and Riparian Assessment, prepared by Ecological, dated 18 August 2017;
- Vegetation Management Plan, prepared by Ecological dated October 2019;
- Contamination Assessment and Remedial Action Plan, prepared by GeoEnviro Consultancy Pty Ltd, dated August 2015;
- Bushfire Assessment, prepared by Ecological September 2017;

The studies are considered to demonstrate that the planning proposal will not have adverse impacts on the environmental amenity in the area.

Q8. Are there any other likely environmental effects as a result of the planning proposal and how are they proposed to be managed?

The planning proposal will not generate significant impacts on surrounding environment.

Reduction of riparian corridor

The planning proposal seeks to reduce the width of the existing riparian corridor to facilitate more developable land on the subject site. The proposed width of the riparian corridor has been realigned to reflect the changes to the NOW Guidelines. A Flora and Fauna and Riparian Assessment has been provided to support the Planning Proposal and a Vegetation Management Plan (VMP) has been prepared for the restoration of the riparian corridor.

The riparian corridor is classified as a first order stream under the NOW Guideline, which requires a 10m wide vegetated buffer (measured from the top of bank) on each side of the watercourse. The Flora and Fauna and Riparian Assessment and Vegetation Management Plan provided in support of the Planning Proposal are consistent with the NOW Guidelines.

The riparian corridor is currently highly degraded. As such, the Planning Proposal will not result in any unacceptable environmental impacts on the riparian corridor.

Flooding and Stormwater Impacts

The Flooding and Stormwater Study found that the proposal will not generate detrimental flood impacts on surrounding properties. The study satisfactorily demonstrates how the proposed

stormwater design within the riparian corridor will provide satisfactory drainage for the proposed development.

The site contains two stormwater flows from external catchments. The proposed 'ultimate drainage infrastructure' design will cater for the proposed development and some upstream properties. Further assessment of the detailed design of the proposed stormwater infrastructure will be required at the development application stage.

Contamination Assessment and Remedial Action Plan

Based on the results of our current investigation and previous investigations, seven areas of environmental contamination (AEC I to VII) were identified and these areas need to be remediated in order to ensure suitability of the site for the proposed residential subdivision development. The remediation plan provided was identified sufficient to address the contamination issues.

Q9. Has the planning proposal adequately addressed any social and economic effects?

The planning proposal will have positive social impacts. The proposal seeks to facilitate 6 additional general residential lots within an existing urban area. The proposal proposes to rezone a portion of R1 to E2 and dedicated the land to Council for public recreational and environmental purpose via a Voluntary Planning Agreement.

4.3.4 State and Commonwealth Interests

Q10. Is there adequate public infrastructure for the planning proposal?

The proposed additional 6 residential lots will not generate additional needs for state and commonwealth infrastructure.

Q11. What are the views of state and Commonwealth public authorities consulted in accordance with the Gateway determination?

In February 2019, the planning proposal was forwarded to Roads and Maritime Services (RMS) for a preliminary consultation. The RMS reviewed the Planning Proposal and the supported Traffic Impacts Report and raised no objections. Further consultation will be conducted in accordance with Gateway Determination.

4.5 Mapping

The following maps will need to be amended to support the planning proposal:

- Land Zoning Map – Sheet LZN_017;
- Height of Building Map - Sheet HOB_017;
- Lot Size Map Sheet LSZ_017

4.6 Community Consultation

The Planning Proposal and associated documents will be publicly exhibited in accordance with the gateway determination. Notifications will be placed in the local newspaper and exhibition material will be available at:

The Planning Proposal will be publicly exhibited in accordance with the gateway determination. Notifications will be placed in the local newspaper and the exhibition material available at:

- Council Administrative Centre, 70 Central Avenue, Oran Park (Hard Copy)
- Narellan Library, Queen Street, Narellan (Hard Copy);
- Camden Library, John Street, Camden (Hard Copy);
- Camden Council website (Electronic Copy).

Prior to the public exhibition period, a notification letter will also be sent to land owners in the vicinity of the subject site to advise of the Planning Proposal.

4.7 Project Timeline

Anticipated commencement date (date of Gateway determination)	Feb– March 2020
Anticipated timeframe for the completion of required technical information	April – May 2020
Timeframe for government agency consultation (post exhibition as required by Gateway determination)	May 2020
Commencement and completion dates for public exhibition period	June - July 2020
Timeframe for consideration of submissions	August 2020
Timeframe for the consideration of a proposal post exhibition	August/September 2020
Date of submission to the department to finalise the LEP	October /November 2020
Anticipated date RPA will make the plan (if delegated)	November 2020
Anticipated date RPA will forward to the department for notification	November 2020

5.0 Conclusion and Recommendations

The planning proposal seeks to amend Camden LEP 2010 to facilitate 6 additional general residential lots via rezoning a portion of E4 & E2 to R1 and rezoning a portion of R1 to E2 for recreational and environmental purposes. The planning proposal proposes to introduce amendments to the Height of building and minimum lot size control to reflect the proposed zoning boundary changes. The proposal does not seek to increase residential density as a result of amending the minimum lot size and height of building controls.

The Planning Proposal has been assessed against key strategic documents, including the Greater Sydney Region Plan, the Western City District Plan, Community Strategic Plan and the draft Camden Local Strategic Planning Statement.

It is considered that the Planning Proposal demonstrates strategic and site - specific planning merit for the following reasons:

- The character of the E4 Environmental Living zone on the site and surrounds has changed significantly from rural to urban development since the rezoning of the area in 2005;
- The proposal maintains the current minimum lot size control of 500m² applying the E4 Environmental Living and R1 General Residential portions of the site;
- The proposal will result in an approximate 0.9ha increase in land zoned for residential purposes by rezoning a portion of the site from E2 Environmental Conservation to R1 General Residential;
- The proposed width of the E2 Environmental Conservation riparian corridor is consistent with the revised NOW Guideline;
- The proposal is not inconsistent with Region, District and local strategic plans and their relevant objectives;
- The proposal will facilitate dwellings in close proximity to existing infrastructure and facilities; and
- The proposal demonstrates a community benefit through the embellishment and dedication of the riparian corridor for passive recreational opportunities and drainage infrastructure that support the wider catchment.

The Planning Proposal has been prepared in accordance with Section 3.33 of the EPA Act 1979. Amendments to Land Zoning Map – Sheet LZN_017; Height of Building Map - Sheet HOB_017, and Lot Size Map Sheet LSZ_017 is the most appropriate method to achieve the objectives of this Planning Proposal.

The Planning Proposal will have a positive outcome for the community and complement the existing residential land use of the surrounding area.

6.0 Appendices

Appendix 1: Consistency against State Environmental Planning Policies

Appendix 2: s9.1 Directions

Appendix 3: Panel Minutes 20 August 2019

Appendix 4: Council Report & Minutes 26 November 2019

Appendix 5: Specialist Studies

Appendix 1: Consistency against State Environmental Planning Policies

SEPP Title	Consistency	Comment
1. Development Standards	N/A	
19. Bushland in Urban Areas	N/A	
21. Caravan Parks	N/A	
30. Intensive Agriculture	N/A	
33. Hazardous and Offensive Development	N/A	
36. Manufactured Home Estates	N/A	
44. Koala Habitat Protection	N/A	
47. Moore Park Showground	N/A	Does not apply to the Camden LGA.
50. Canal Estate Development	N/A	
52. Farm Dams and Other Works in Land and Water Management Plan Areas	N/A	
55. Remediation of Land	Yes	<p>The planning proposal seek to facilitate 6 additional general residential lots on the site via rezoning from E4 and E2 to R1.</p> <p>A Contamination Assessment and Remedial Action Plan has been prepared by GeoEnviro to support this planning proposal. The study identified area of environmental concerns and provided sufficient remediation actions to make suitable for the residential development. As such the planning proposal is consistent with the SEPP 55.</p>

62. Sustainable Aquaculture	N/A	
64. Advertising and Signage	N/A	
65. Design Quality of Residential Apartment Development	N/A	
70. Affordable Housing (Revised Schemes)	N/A	
SEPP (Aboriginal Land) 2019	N/A	
SEPP (Affordable Rental Housing) 2009	N/A	
SEPP (Building Sustainability Index: BASIX) 2004	Yes	The relevant BASIX assessment will be lodged with subsequent development application
SEPP (Coastal Management) 2018	N/A	
SEPP (Concurrences) 2018	N/A	
SEPP (Educational Establishments and Child Care Facilities) 2017	Yes	The planning proposal seeks to facilitate 6 additional general residential lots on a site which is suitable for residential development.
SEPP (Exempt and Complying Development Codes) 2008	Yes	The planning proposal is consistent with the Codes SEPP. Future development applications would consider the relevant provisions under the Codes SEPP.
SEPP (Gosford City Centre) 2018	N/A	
SEPP (Housing for Seniors or People with a Disability) 2004	Yes	The planning proposal is consistent with this SEPP. It proposes to increase 6 additional general residential lots on a site suitable for residential development.

		This SEPP may be considered at development application stage.
SEPP (Infrastructure) 2007	Yes	The planning proposal is consistent with this SEPP. Future development applications
SEPP (Kosciuszko National Park-Alpine Resorts) 2007	N/A	Does not apply to the Camden LGA.
SEPP (Kurnell Peninsula) 1989	N/A	Does not apply to the Camden LGA.
SEPP (Mining, Petroleum Production and Extractive Industries) 2007	N/A	Does not apply to the Camden LGA.
SEPP (Miscellaneous Consent Provisions) 2007	Yes	The planning proposal does not affect the application of this SEPP
SEPP (Penrith Lakes Scheme) 1989	N/A	Does not apply to the Camden LGA.
SEPP (Rural Lands) 2008	N/A	Does not apply to the Camden LGA.
SEPP (State and Regional Development) 2011	N/A	The planning proposal is not identified as a state significant development.
SEPP (State Significant Precincts) 2005	N/A	Does not apply to the Camden LGA.
SEPP (Sydney Drinking Water Catchment) 2011	N/A	Does not apply to the Camden LGA.
SEPP (Sydney Region Growth Centres) 2006	Yes	The subject site is not located within Sydney Region South West Growth Centre. As such, the planning proposal does not affect the application of this SEPP
SEPP (Three Ports) 2013	N/A	Does not apply to the Camden LGA.
SEPP (Urban Renewal) 2010	N/A	Does not apply to the Camden LGA.
SEPP (Vegetation in Non-Rural Area) 2017	Yes	The planning proposal is consistent with this SEPP. The proposal does not seek to

clear vegetation in non-rural area.
Notwithstanding, the proposal seeks to preserve the existing small pocket of vegetation that belongs to Cumberland Plain Woodland Community by including it into the proposed E2 zoned land.

As such, the planning proposal is consistent with this SEPP.

SEPP (Western Sydney Employment Area) 2009	Yes	The planning proposal is consistent with this SEPP. It does not affect the applications to this SEPP
SEPP (Western Sydney Parklands) 2009	N/A	Does not apply to the Camden LGA.
Sydney Regional Environment Plan No 8 (Central Coast Plateau Areas)	N/A	Does not apply to the Camden LGA.
Sydney Regional Environment No 9 (Extractive Industry)	N/A	The planning proposal is consistent with this SEPP. It does not affect the applications to this SEPP
Sydney Regional Environmental Plan No 16 (Walsh Bay)	N/A	Does not apply to the Camden LGA.
Sydney Regional Environmental Plan No 20 Hawkesbury-Nepean River	Yes	The site is not within or adjacent to the Hawkesbury Nepean river system. The planning proposal is consistent with this SEPP
Sydney Regional Environmental Plan No 24—Homebush Bay Area	N/A	Does not apply to the Camden LGA.
Sydney Regional Environmental Plan No 26—City West	N/A	Does not apply to the Camden LGA.
Sydney Regional Environmental Plan No 30 St Marys	N/A	Does not apply to the Camden LGA.

Sydney Regional Environmental Plan No 33—Cooks Cove	N/A	Does not apply to the Camden LGA.
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Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005	N/A	Does not apply to the Camden LGA.
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Appendix 2 : s9.1 Directions

s117 Direction Title	Consistency	Comment
1.0 Employment and Resources		
1.1 Business and Industrial Zones	N/A	
1.2 Rural Zones	N/A	
1.3 Mining, Petroleum Production and Extractive Industries	N/A	
1.4 Oyster Aquaculture	N/A	Does not apply to the Camden LGA.
1.5 Rural Lands	N/A	
2.0 Environment and Heritage		
2.1 Environment Protection Zones	Yes	<p>The planning proposal is consistent with this direction.</p> <p>The planning proposal seeks to narrow down the width of the E2 zoned riparian corridor to facilitate 6 additional residential lots. The existing riparian corridor is highly degraded. The proposed width of E2 riparian corridor is consistent with the Guidelines for riparian corridors on waterfront land of NSW Officer of Water.</p>
2.2 Coastal Protection	N/A	Does not apply to the Camden LGA.
2.3 Heritage Conservation	Yes	<p>The planning proposal is consistent with this direction.</p> <p>The site does not contain any listed heritage items of local, state or national heritage significance.</p> <p>Indigenous artefact is identified by the aboriginal heritage study within the site that proposed to be rezoned from R1 to E2. The study identified future assessment and conservation plan to be</p>

completed prior to any future construction work on the site.

2.4 Recreation Vehicle Areas	N/A	
2.5 Application of E2 and E3 Zones and Environmental Overlays in Far North Coast LEPs	N/A	
3.0 Housing, Infrastructure and Urban Development		
3.1 Residential Zones	Yes	<p>The planning proposal is consistent with this direction.</p> <p>The proposal proposed to increase 6 additional residential lots in the urban area that is suitable for residential development with established infrastructure in place.</p>
3.2 Caravan Parks and Manufactured Home Estates	N/A	
3.3 Home Occupations	N/A	
3.4 Integrating Land Use and Transport	Yes	<p>The planning proposal is consistent with this direction.</p> <p>The proposal seeks to facilitate 6 additional residential lots in an existing urban area planned for residential development. The proposal will increase housing stock in a place that closed to existing local infrastructure and services. The proposal also proposes to rezone a portion of R1 land to E2 and dedicate to Council for the use of public via Voluntary Planning Agreement.</p>
3.5 Development Near Licensed Aerodromes	N/A	
3.6 Shooting Ranges	N/A	

4.0 Hazard and Risk

4.1 Acid Sulphate Soils	N/A	
4.2 Mine Subsidence and Unstable Land	N/A	
4.3 Flood Prone Land	Yes	<p>The planning proposal is consistent with this direction.</p> <p>The subject site is not currently located within a flood prone land. The planning proposal will not generate significant impacts on the flood behaviour in the area. As the existing riparian corridor is highly degraded. The provided flood and stormwater study indicated that the proposed additional 6 residential lots will not have significant impacts on surrounding environment. The proposed width of the riparian corridor is consistent with the Water NSW's guideline for development on waterfront land.</p>
4.4 Planning for Bushfire Protection	Yes	<p>The planning proposal is consistent with this direction.</p> <p>The subject site is not located within the bushfire prone land. The planning proposal does not affect the application of this direction. Further detailed bushfire assessment would be provided at development application stage.</p>

5.0 Regional Planning

5.1 Implementation of Regional Strategies	N/A	
5.2 Sydney Drinking Water Catchments	N/A	
5.3 Farmland of State and Regional Significance on the NSW Far North Coast	N/A	Does not apply to the Camden LGA.

5.4 Commercial and Retail Development along the Pacific Highway, North Coast	N/A	Does not apply to the Camden LGA.
5.8 Second Sydney Airport: Badgerys Creek	N/A	
5.9 North West Rail Link Corridor Strategy	N/A	Does not apply to the Camden LGA.
5.10 Implementation of Regional Plans	N/A	The planning proposal is consistent with Greater Sydney Regional Plan as well as Western Sydney District Plan.
5.11 Development of Aboriginal Land Council land	Yes	The planning proposal is consistent with this direction. An aboriginal study was prepared to support this planning proposal.
6.0 Local Plan Making		
6.1 Approval and Referral Requirements	Yes	The planning proposal is consistent with this direction. The future development to be occurred on the site will be assessed in accordance to Camden LEP 2010. The proposal does not have implication on the applications of other approval and referral requirements.
6.2 Reserving Land for Public Purposes	Yes	The planning proposal is consistent with this direction. The proposal proposed to rezone E2 & E4 to R1 to facilitate additional 6 residential lots on the existing urban area. The proposal also seeks to rezone a small portion of land from R1 to E2. The proposed E2 land connects to the remaining Cumberland Plain Woodland vegetation community on the site, which will provide logical embellishments to improve the existing environmental value.
6.3 Site Specific Provisions	Yes	The planning proposal is consistent with this direction. The subject site is current vacant and zoned majorly under R1 and is planned to provide residential

buildings. The planning proposal seeks to increase additional 6 lots on the subject site by rezoning from E4 and E2 to R1, as such the proposal is consistent with this direction.

7.0 Metropolitan Plan Making		
7.1 Implementation of A Plan for Growing Sydney	Yes	The planning proposal is consistent with the Greater Sydney regional plan.
7.2 Implementation of Greater Macarthur Land Release Investigation	N/A	
7.3 Parramatta Road Corridor Urban Transformations Strategy	N/A	Does not apply to the Camden LGA.
7.4 Implementation of North West Priority Growth Area Land Use and Infrastructure Implementation Plan	N/A	Does not apply to the Camden LGA.
7.5 Implementation of Greater Parramatta Priority Growth Area Interim Land Use and Infrastructure Implementation Plan	N/A	Does not apply to the Camden LGA.
7.6 Implementation of Wilton Priority Growth Area Interim Land Use and Infrastructure Implementation Plan	N/A	Does not apply to the Camden LGA.
7.7 Implementation of Glenfield to Macarthur Urban Renewal Corridor	N/A	
7.8 Implementation of the Western Sydney Aerotropolis interim Land use and Infrastructure Implementation Plan	N/A	The subject site is not within the Western Sydney Airport land reservation area.
7.9 Implementation of Bayside West Precincts 2036 Plan	N/A	Does not apply to the Camden LGA

7.10 Implementation of Planning Principles for the Cooks River Cove Precinct

N/A

Does not apply to the Camden LGA

Appendix 3: Camden Planning Panel Meeting Minute



Camden Local Planning Panel

Closed Meeting Minutes
20 August 2019

**Camden Council
Administration Centre
70 Central Avenue, Oran Park**



CLOSED CAMDEN LOCAL PLANNING PANEL MEETING

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PRESENT

Michael File (Expert Panel Member), Rachel Harrison (Expert Panel Member), Bill Rooney (Community Member – Central Ward).

APOLOGIES

Stuart McDonald (Chairperson) was absent from the meeting and provided an apology.

Due to the chair being absent it was determined by the Panel that Michael File assume the position of the Chairperson for the meeting.

ALSO IN ATTENDANCE

Director Planning & Environment, Manager Strategic Planning, Team Leader Land Use Planning, Team Leader Growth Areas, Strategic Planner, Strategic Planning Officer, Governance Officer – Panel and Committees.

DECLARATION OF INTEREST

Mr Bill Rooney declared a conflict of interest in relation to CCLPP01 – A Saddle Close Currans Hill Planning Proposal. Mr Rooney advised that he would take no part in the panel's discussion and recommendation to Council on this matter.

CCLPP01 A SADDLE CLOSE CURRANS HILL PLANNING PROPOSAL

Due to the conflict raised by Mr Rooney, the Panel did not have a quorum to provide advice on CLPP01 – A Saddle Close Currans Hill Planning Proposal.

It was determined that this item be deferred to be considered electronically with Stuart McDonald, Michael File and Rachel Harrison. The minutes will be updated to include the recommendation.

CCLPP02 187 & 191 TURNER ROAD CURRANS HILL PLANNING PROPOSAL

PANELS RECOMMENDATION

The Camden Local Planning Panel has considered the draft Planning Proposal and is of the view that the proposal should not proceed to Gateway Determination as it fails to demonstrate strategic merit for the following reasons:

- Retention of the 500m² minimum lot size will add to the diversity of housing choice given the high prevalence of small lot housing in the locality.
- Retention of the existing E2 zone land is likely to have greater success in achieving Council's objective of an appropriate recreational outcome and future environmental values.

VOTING NUMBERS

The Panel voted 3-0 in favour of the recommendation.

CCLPP03 220 MACQUARIE GROVE ROAD, KIRKHAM PLANNING PROPOSAL

PANELS RECOMMENDATION

The Camden Local Planning Panel has considered the draft Planning Proposal and agrees that the proposal does not demonstrate sufficient planning merit to proceed to Gateway Determination as the draft Planning Proposal is inconsistent with Council and

the State Government's long-term strategic planning. In particular Council's:

- Rural Lands Strategy
- Community Strategic Plan; and
- Draft Camden Local Strategic Planning Statement

And the reasons given in Council's assessment report.

VOTING NUMBERS

The Panel voted 3-0 in favour of the recommendation.

ELECTRONIC CONSIDERATION

DATE OF FINALISATION	22 August 2019
PANEL MEMBERS	Stuart McDonald, Michael File, Rachel Harrison
APOLOGIES	N/A
DECLARATIONS OF INTEREST	None

CCLPP01 A SADDLE CLOSE CURRANS HILL PLANNING PROPOSAL

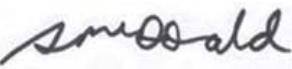

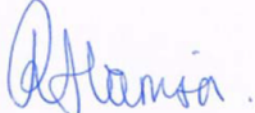
PANELS RECOMMENDATION

The Camden Local Planning Panel has considered the draft Planning Proposal and is of the view that the proposal should not proceed to Gateway Determination as it fails to demonstrate strategic merit for the following reasons:

- It doesn't provide a diversity of lot sizes consistent with the planning of the surrounding area.
- The current zoning provides an appropriate transition to the immediately adjoining E2 zoned land containing Cumberland Plain Woodland.
- The existing E2 Environmental Conservation zone should be retained, as CPW vegetation has been identified on the E2 zoned land.

VOTING NUMBERS

The Panel voted 3-0 in favour of the recommendation.

PANEL MEMBERS	
 Stuart McDonald	 Michael File
 Rachel Harrison	

Appendix 4: Camden Council Report & Meeting Minute – 26 November 2019

ORDINARY COUNCIL

ORD02

SUBJECT: PLANNING PROPOSAL - 187 & 191 TURNER ROAD, CURRANS HILL
FROM: Director Planning and Environment
TRIM #: 19/316235

PROPERTY ADDRESS	187 & 191 Turner Road, Currans Hill Lot 36 DP 28024 Lot 105 DP 1210084
PROPONENT	John M Daly & Associates Pty Ltd
OWNER	Mr K Broome & Turner Road Developments Pty Ltd & Aramis Investments Pty Ltd

PURPOSE OF REPORT

The purpose of this report is to advise Council of a draft Planning Proposal for 187 and 191 Turner Road, Currans Hill, and to recommend the draft Planning Proposal be forwarded to the Department of Planning, Industry and Environment (DPIE) for Gateway Determination.

The draft Planning Proposal is provided as an **attachment** to this report.

BACKGROUND

In March 2018, John M Daly & Associates Pty Ltd lodged a Planning Proposal for the site on behalf of the landowners. The draft proposal sought to amend Camden Local Environmental Plan 2010 (Camden LEP 2010) by rezoning a portion of the site zoned E4 Environmental Living and E2 Environmental Conservation (the riparian corridor) to R1 General Residential and amending the minimum lot size from 500m² to a range of lot sizes (300, 350, 400 and 500m²).

On 20 August 2019, the Camden Local Planning Panel (Panel) reviewed the draft proposal and provided recommendations, which are discussed later in this report and are provided as an **attachment** to this report.

Following the Panel's review, the proponent lodged a revised Planning Proposal. The revised draft Planning Proposal seeks to retain the existing 500m² minimum lot size and adjusts the proposed E2 Environmental Conservation zone boundary.

The Planning Proposal seeks to reduce the width of the E2 Environment Conservation zoned land (the riparian corridor) to reflect the current NSW Office of Water's (NOW) "Guidelines for Riparian Corridors on Waterfront Land" (Guidelines). These Guidelines were reviewed in 2012 and amended the required riparian corridor widths according to stream classification.

Councillors were briefed on the initial draft Planning Proposal on 25 September 2018 and the revised proposal on 12 November 2019.

Locality

The subject site is part of the Manooka Valley urban release area which was rezoned for residential development in 2005, prior to the rezoning of the South West Growth Area (SWGA).

The planning controls adopted at the time reflected the rural nature of the surrounding area, which has changed significantly since the Turner Road Precinct was rezoned (2007) and developed under the Growth Centres SEPP.

The area is now largely characterised by low density residential development in Currans Hill to the south and east. To the north west, the site is adjacent to the SWGA and the Smeaton Grange industrial precinct.

The subject site is 11.59ha in area (approximate) and slopes towards Turner Road. The riparian corridor which traverses the site from north-east to south-west is in poor condition. The site is predominately cleared except for several paddock trees and a small 0.2ha remnant patch of Cumberland Plain Woodland.

Figure 1 provides the site context and location. **Figure 2** identifies the site and existing riparian corridor.



Figure 1: Site context



Figure 2: Site location and riparian corridor

Development History

On 28 November 2017, a development application (DA/2017/525/1) was approved for part of the site (not subject to the planning proposal) at 187 & 191 Turner Road, Currans Hills. The DA approval includes subdivision to create 40 residential lots ranging from 500m² to 1,474m², construction and dedication of public roads, earthworks, drainage, services and landscaping.

The subdivision plan approved under this DA is provided in **Figure 3**.

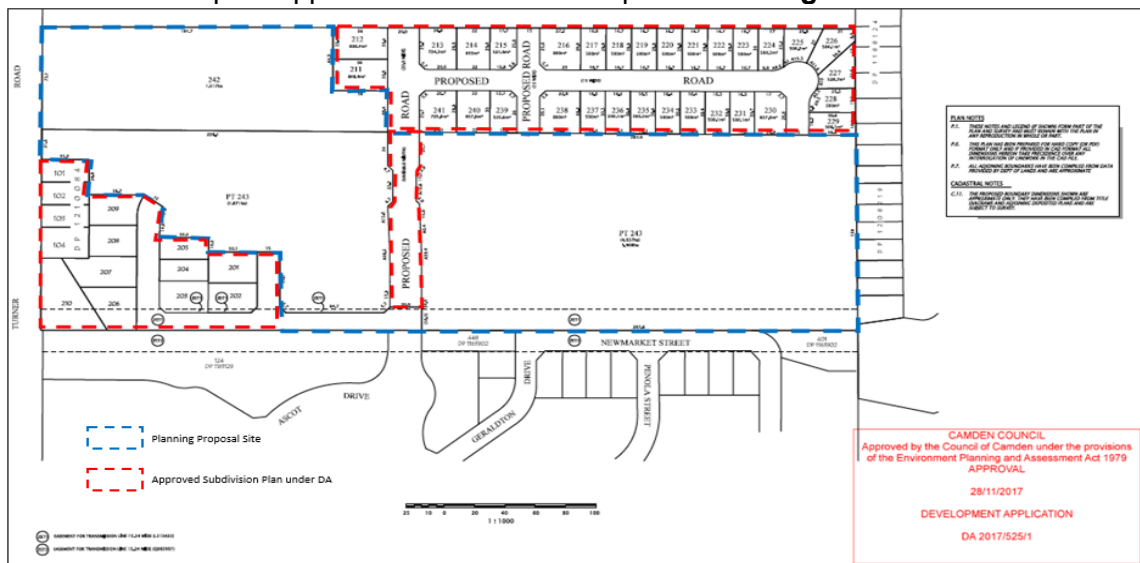


Figure 3: Approved subdivision plan under DA/2017/525/1

Recently, construction work was commenced including the earthworks, proposed road and drainage on the site.

MAIN REPORT

The Proposal

The draft Planning Proposal (as revised) seeks to:

- Rezone approximately 0.7ha of land zoned E4 Environmental Living and 1.0ha of land zoned E2 Environmental Conservation to R1 General Residential; and
- Rezone approximately 0.1ha of land zoned R1 General Residential to E2 Environmental Conservation.

The approximate breakdown of the existing and proposed rezoning area is provided in **Table 1**.

Existing zone area	Proposed zone area	Changed zone area
E2 – 2.6 ha	E2 – 1.7ha	- 0.9 ha
R1 – 4.2 ha	R1 – 5.8 ha	+1.6 ha
E4 – 0.7ha	E4 – 0 ha	-0.7 ha

Table 1: Breakdown of existing and proposed rezoning area

The concept plan included in the Planning Proposal indicates approximately 69 residential lots could be achieved on the site of the Planning Proposal. However, it is noted dwellings are currently permissible on the portion of the site zoned E4 Environmental Living and R1 General Residential.

The draft Planning Proposal does not seek to increase the permissible residential density on the portions of the site currently zoned R1 and E4 as it maintains the existing minimum lot size control of 500m² under Camden LEP 2010. As such, the additional permissible residential density will only result from rezoning the 0.9ha (approximate) portion of the site currently zoned E2 to R1.

Zoning and Permissibility

The site is currently zoned R1 General Residential, E2 Environmental Conservation and E4 Environmental Living, with a minimum lot size of 500m² under the Camden LEP 2010.

The draft Planning Proposal seeks to amend the following Camden LEP 2010 maps:

- Land Zoning (LZN);
- Height of Building (HOB);
- Lot Size (LSZ) Maps currently applying to the site.

Land Zoning (LZN) Map

The draft Planning Proposal seeks to narrow the width of the riparian corridor by rezoning approximately 10m on each side of the watercourse from E2 Environmental Conservation to R1 General Residential. The proposed width of the riparian corridor is approximately 26m, including an approximate 6m wide channel and a 10m buffer from the top of bank on each side of the watercourse.

The adjustment of the E2 Environment Conservation zoned land reflects the width of the riparian corridor in accordance with the current NOW Guidelines and responds to the landform of the site.

Figure 3 and **Figure 4** show a comparison of changes proposed for the LZN maps.

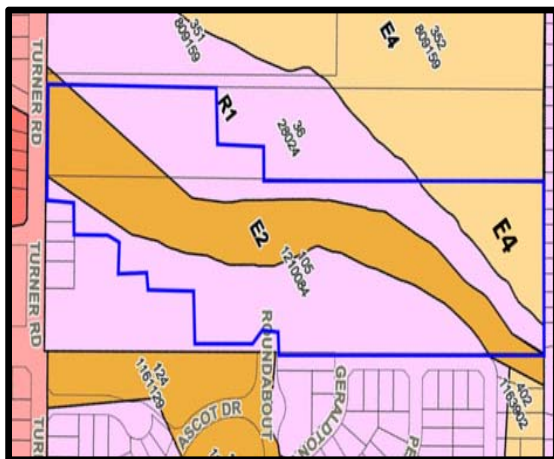


Figure 3: Existing zoning

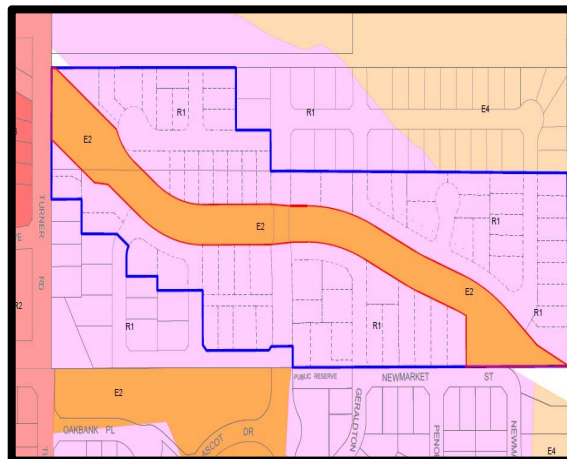


Figure 4: Proposed zoning

Height of Building (HOB) and Lot Size (LSZ) Maps

The draft Planning Proposal seeks to introduce changes to the Height of Buildings and Lot Size Maps to reflect the revised zoning boundaries proposed for the site.

A 9.5m maximum building height and 500m² minimum lot size control will apply to proposed R1 zoned land.

Specialist Studies

The following specialist studies have been submitted with the revised Planning Proposal. These are provided **under separate cover**:

- Traffic Impact Report, prepared by Transport & Urban Planning Pty Ltd, dated October 2019;
- Flora and Fauna and Riparian Assessment, prepared by Ecological, dated 18 August 2017;
- Vegetation Management Plan, prepared by Ecological dated October 2019;
- Contamination Assessment and Remedial Action Plan, prepared by GeoEnviro Consultancy Pty Ltd, dated August 2015;
- Bushfire Assessment, prepared by Ecological September 2017;
- Aboriginal Heritage Assessment, prepared by Ecological dated, September 2017;
- Stormwater Assessment, prepared by JMD Consultants dated, 29 October 2019; and
- Salinity Assessment prepared by GeoEnviro Consultancy Pty Ltd, dated October 2017.
- Landscape Plan – prepared by Taylor Brammer and Associates, dated 20 October 2019

Additional supporting technical studies may be provided post-Gateway, should the draft Planning Proposal be supported.

Key Issues

Traffic Impacts

The Traffic Impact Report (TIR) indicates that the additional traffic movement generated by the proposed development will not compromise the existing traffic service level, road safety and amenity at key intersections and access roads leading to the site. These include the intersections located at Narellan Road and Tramway Drive and Currans Hill Drive and Turner Road.

Officer Comment

The site is accessible from Narellan Road via Hartley Road or Tramway Drive. Access is also available from Camden Valley Way via Anderson Road through the Smeaton Grange industrial area.

The additional residential density arising from this Planning Proposal will not generate unacceptable traffic impacts on the existing road network. The projected traffic volumes align with the recommended Roads and Maritime Services (RMS) environmental threshold for local and collector roads at the post development condition. However, the intersection of Narellan Road and Hartley Road is operating at capacity and further traffic assessment may be required to consider the cumulative impacts.

Environmental Impacts

Reduction of Riparian Corridor

The draft Planning Proposal reduces the width of the E2 Environmental Conservation zoned riparian corridor. As mentioned previously, the riparian corridor has been realigned to reflect the changes to the NOW Guidelines. A Flora and Fauna and Riparian Assessment has been provided to support the draft Planning Proposal and a Vegetation Management Plan (VMP) has been prepared for the restoration of the riparian corridor.

Officer Comment

The riparian corridor is classified as a first order stream under the NOW Guideline, which requires a 10m wide vegetated buffer (measured from the top of bank) on each side of the watercourse. The Flora and Fauna and Riparian Assessment and Vegetation Management Plan provided in support of the draft Planning Proposal are consistent with the NOW Guidelines.

The riparian corridor is currently highly degraded. As such, the draft Planning Proposal will not result in any unacceptable environmental impacts on the riparian corridor.

Threatened Ecological Communities

The site currently contains some scattered trees and a small pocket (approximately 0.2 ha) of River - Flat Eucalypt Forest (RFEF) from the Cumberland Plain Woodland (CPW) vegetation community. The CPW vegetation community is protected under the *Environmental Protection and Biodiversity Conservation Act 1999* (the EPBC Act).

The draft Planning Proposal seeks to protect the remnant vegetation by realigning the E2 Environment Conservation corridor to include the existing vegetation.

Officer Comment

Council officers have reviewed the Vegetation Management Plan (VMP) and support the preservation and revegetation of the existing CPW vegetation.

The VMP includes measures to revegetate the riparian corridor and the proposed realignment of the E2 Environment Conservation zone boundary will facilitate the protection of the remnant CPW vegetation community, some of which is currently located within R1 zoned land.

Flooding and Stormwater Impacts

The submitted Flooding and Stormwater Study found that the proposal will not generate detrimental flood impacts on surrounding properties and demonstrates how the proposed stormwater design within the riparian corridor will provide satisfactory drainage for the proposed development.

Officer Comment

The site is not flood-affected and contains two stormwater flows from external catchments. The proposed 'ultimate drainage infrastructure' design will cater for the proposed development and some upstream properties. Further assessment of the detailed design of the proposed stormwater infrastructure will be required post-Gateway, should the draft Planning Proposal be supported.

Supporting Infrastructure

Dedication and Embellishment of Riparian Corridor

The draft Planning Proposal seeks to dedicate the riparian corridor to Council via a Voluntary Planning Agreement (VPA) in accordance with Council's '*Dedication of Riparian Corridors Policy*'.

The draft VPA includes the construction of a regional drainage basin that would be sized and designed to cater for water treatment on the site as well as several properties in the same catchment upstream.

Officer Comment

Council officers are currently assessing the draft VPA offer. Should the draft Planning Proposal be supported by Council and obtain a favourable Gateway determination, consideration of the draft VPA offer will progress (including a future Councillor briefing).

Council officers consider dedication of the E2 Environment Conservation zoned land presents a community benefit as the draft VPA offer seeks to incorporate additional recreational areas and facilities, including:

- A shared path extending along one side of the riparian corridor, providing a pedestrian and cycle way connection from Turner Road to Orbit Street in Gregory Hills; and
- A portion of the proposed E2 zoned land adjoining the riparian corridor to the north of the site being embellished and including seating, outdoor gym equipment, artwork and associated landscaping (subject to future Council consideration). Refer to indicative layout plan provided as an **attachment**.

Assessment against Key Strategic Documents

An assessment against the Key Strategic Documents is provided as an **attachment** to this report and summarised below.

Greater Sydney Region Plan

The Greater Sydney Region Plan (Region Plan) was released by the Greater Sydney Commission (GSC) on 18 March 2018. The Region Plan has a vision and plan to manage growth and change in the context of economic, social and environmental matters.

The proposal is consistent with the relevant directions and objectives of the Region Plan including:

- Direction 4: Liveability – Housing the City;
- Direction 6: Sustainability – A City in its Landscape.

Western City District Plan

The Western City District Plan (District Plan) was released by the GSC on 18 March 2018. The District Plan guides the 20-year growth of the district to improve its social, economic and environmental assets.

The proposal is consistent with the relevant priorities and actions of the District Plan:

- Planning Priority W5: Providing housing, choice and affordability, with access to jobs, services and public transport;
- Planning Priority W16: Protecting and enhancing scenic and cultural landscapes.

Draft Camden Local Strategic Planning Statement

The draft Local Strategic Planning Statement (draft LSPS) is a 20-year planning vision, emphasising land use, transport and sustainability objectives to demonstrate how Camden LGA will change to meet the community's needs over the next 20 years.

The proposal has been assessed against the relevant Local Priorities and Actions of the draft LSPS and is consistent with the following Local Priorities:

- Local Priority L1 - Providing housing choice and affordability for Camden's growing and changing population;
- Local Priority S1 – Improving the accessibility and connectivity of Camden's Green and Blue grid and delivering high quality open space.

Community Strategic Plan (CSP)

The Community Strategic Plan (CSP) seeks to actively manage Camden LGA's growth by retaining Camden's heritage sites, scenic vistas and cultural landscapes.

The proposal has been assessed against the relevant Directions and Strategies of the CSP and is consistent with the following Directions:

- Key Direction 1: Actively Managing Camden LGA's Growth.

Camden Local Planning Panel

On 20 August 2019, the Local Planning Panel inspected the site and considered the draft Planning Proposal in a closed session. The Panel's recommendations were that the draft Planning Proposal should not proceed to Gateway Determination for the following reasons:

- Retaining of the 500m² minimum lot size will add to the diversity of housing choice given the high prevalence of small lot housing in the locality; and
- Retention of the existing E2 zoned land is likely to have greater success in achieving an appropriate recreational outcome and future environmental value.

A copy of meeting minutes is provided as an **attachment** to this report.

The draft Planning Proposal has been revised to respond to the Panel's advice specifically to retain the 500m² minimum lot size and adjust the proposed E2 Environment Conservation zoned land to provide recreational opportunities and conserve remnant vegetation.

Initial Notification

An initial notification was carried out based on the original version of the draft Planning Proposal for a period of 14 days from 24 April 2018 to 8 May 2018.

Letters were sent to adjoining and nearby properties and notices were placed in the local newspaper and on the Council website. Eleven submissions were received, including ten objections and one in support of the draft Planning Proposal. The issues raised in the submissions received are summarised below:

- Traffic impacts (noise and congestion) from the increased density;
- Flooding impacts from reducing the width of the riparian corridor;
- The proposed minimum lot size is inconsistent with the character of Manooka Valley; and
- Insufficient public infrastructure from increased population in the local area;

A formal public exhibition will occur subject to endorsement of the draft Planning Proposal and receipt of a favourable Gateway Determination. Submitters to the initial notification stage will be advised of any future public exhibition.

Assessment of Planning Merit

The draft Planning Proposal has been assessed against key strategic documents, including the Greater Sydney Region Plan, the Western City District Plan, Community Strategic Plan and draft Camden Local Strategic Planning Statement.

It is considered that the draft Planning Proposal demonstrates planning merit to proceed to Gateway Determination for the following reasons:

- The character of the E4 Environmental Living zone on the site and surrounds has changed significantly from rural to urban development since the rezoning of the area in 2005.

- The draft proposal maintains the current minimum lot size control of 500m² applying the E4 Environmental Living and R1 General Residential portions of the site.
- The draft proposal will result in an approximate 0.9ha increase in land zoned for residential purposes by rezoning a portion of the site from E2 Environmental Conservation to R1 General Residential.
- The proposed width of the E2 Environmental Conservation riparian corridor is consistent with the revised NOW Guideline.
- The draft proposal is not inconsistent with Region, District and local strategic plans and their relevant objectives.
- The draft proposal will facilitate dwellings in close proximity to existing infrastructure and facilities.
- The draft proposal demonstrates a community benefit through the embellishment and dedication of the riparian corridor for passive recreational opportunities and drainage infrastructure that support the wider catchment.

FINANCIAL IMPLICATIONS

There are no financial implications for Council as a result of this report.

CONCLUSION

The draft Planning Proposal seeks to amend the Camden LEP 2010 by rezoning approximately 1ha of the riparian corridor from E2 Environmental Conservation to R1 General Residential, an approximate 0.7ha portion from E4 Environmental Living to R1 General, and an approximate 0.1ha portion from R1 General Residential to E2 Environmental Conservation.

Council officers have assessed the draft Planning Proposal and consider the proposal demonstrates sufficient planning merit to proceed to Gateway Determination, as outlined in this report.

RECOMMENDED

That Council:

- endorse the draft Planning Proposal for land at 187 & 191 Turner Road Currans Hill to be forwarded to the Department of Planning, Industry and Environment for Gateway Determination and advise that Council will be using its delegation pursuant to Section 2.4 of the Environmental Planning and Assessment Act 1979;**
- subject to receiving a Gateway Determination from the Department of Planning, Industry and Environment proceed to public exhibition in accordance with the requirements of the Gateway Determination.**
- subject to no unresolved submissions being received, forward the draft Planning Proposal for Lot 36 DP 28024, Lot 105 DP 1210084, 187 & 191 Turner Road, Currans Hill to the Department of Planning, Industry and Environment for the plan to be made; or**
- if unresolved submissions are received, consider a further report outlining the results of the public exhibition; or**

-
- v. should the draft Planning Proposal not receive a Gateway Determination, notify the proponent that the draft Planning Proposal will not proceed.

ATTACHMENTS

1. 187 Turner Road Planning Proposal
2. SPECIALIST STUDIES Turner Road
3. Indicative Layout Plan Turner Road
4. Assessment Against Key Strategic Documents
5. CLPP Minutes 20 August 2019

Ordinary Council Resolution

Resolution: Moved Councillor C Cagney, Seconded Councillor Farrow that Council:

- i. endorse the draft Planning Proposal for land at 187 & 191 Turner Road Currans Hill to be forwarded to the Department of Planning, Industry and Environment for Gateway Determination and advise that Council will be using its delegation pursuant to Section 2.4 of the *Environmental Planning and Assessment Act 1979*;
- ii. subject to receiving a Gateway Determination from the Department of Planning, Industry and Environment, proceed to public exhibition in accordance with the requirements of the Gateway Determination;
- iii. subject to no unresolved submissions being received, forward the draft Planning Proposal for Lot 36 DP 28024, Lot 105 DP 1210084, 187 & 191 Turner Road, Currans Hill to the Department of Planning, Industry and Environment for the plan to be made; or
- iv. if unresolved submissions are received, consider a further report outlining the results of the public exhibition; or
- v. should the draft Planning Proposal not receive a Gateway Determination, notify the proponent that the draft Planning Proposal will not proceed.

ORD200/19 THE MOTION ON BEING PUT WAS **CARRIED**

(Councillors Sidgreaves, Symkowiak, Campbell, Fedeli, C Cagney, A Cagney, Farrow, Mills and Morrison voted in favour of the Motion. No Councillors voted against the Motion.)

Appendix 5: Specialist Studies